

THE BLOCK

555 JOHNSON AVENUE

BUSHWICK

BROOKLYN NEW YORK 11237



573

2.5 ACRES

BUSHWICK, BROOKLYN

100,000 SQUARE FEET

86,204 SF INTERIOR _ 24,607 SF EXTERIOR

1 CITY BLOCK

JOHNSON AVE. GARDNER AVE. RANDOLPH STREET. STEWART AVE.

BUSHWICK RETAINED ITS INDEPENDENCE FOR ALMOST TWO HUNDRED YEARS BEFORE OFFICIALLY BECOMING A PART OF THE GROWING CITY OF BROOKLYN. SINCE ITS EARLY DAYS, THE NEIGHBORHOOD HAS BEEN DEFINED BY PRODUCTION — FIRST FROM FARMS, THEN FROM FACTORIES.





IN TODAY'S WORLD, A NEW VISION OF PRODUCTION HAS BROUGHT A MODERN COHORT OF MAKERS AND CREATIVES TO THE AREA. THE BLOCK ESTABLISHES AN INVITING BASE FOR THIS RANGE OF PEOPLE, BUSINESSES, AND IDEAS TO COME TOGETHER—FOSTERING COMFORTABLE AND COLLABORATIVE INTERACTION.

BUSHWICK BY NUMBERS

TOTAL POPULATION

34,158

29.3%

FOREIGN BORN RESIDENTS

BARS

196

152

CULTURAL VENUES

33

MEDIAN AGE

2020 ESTIMATED WORKFORCE

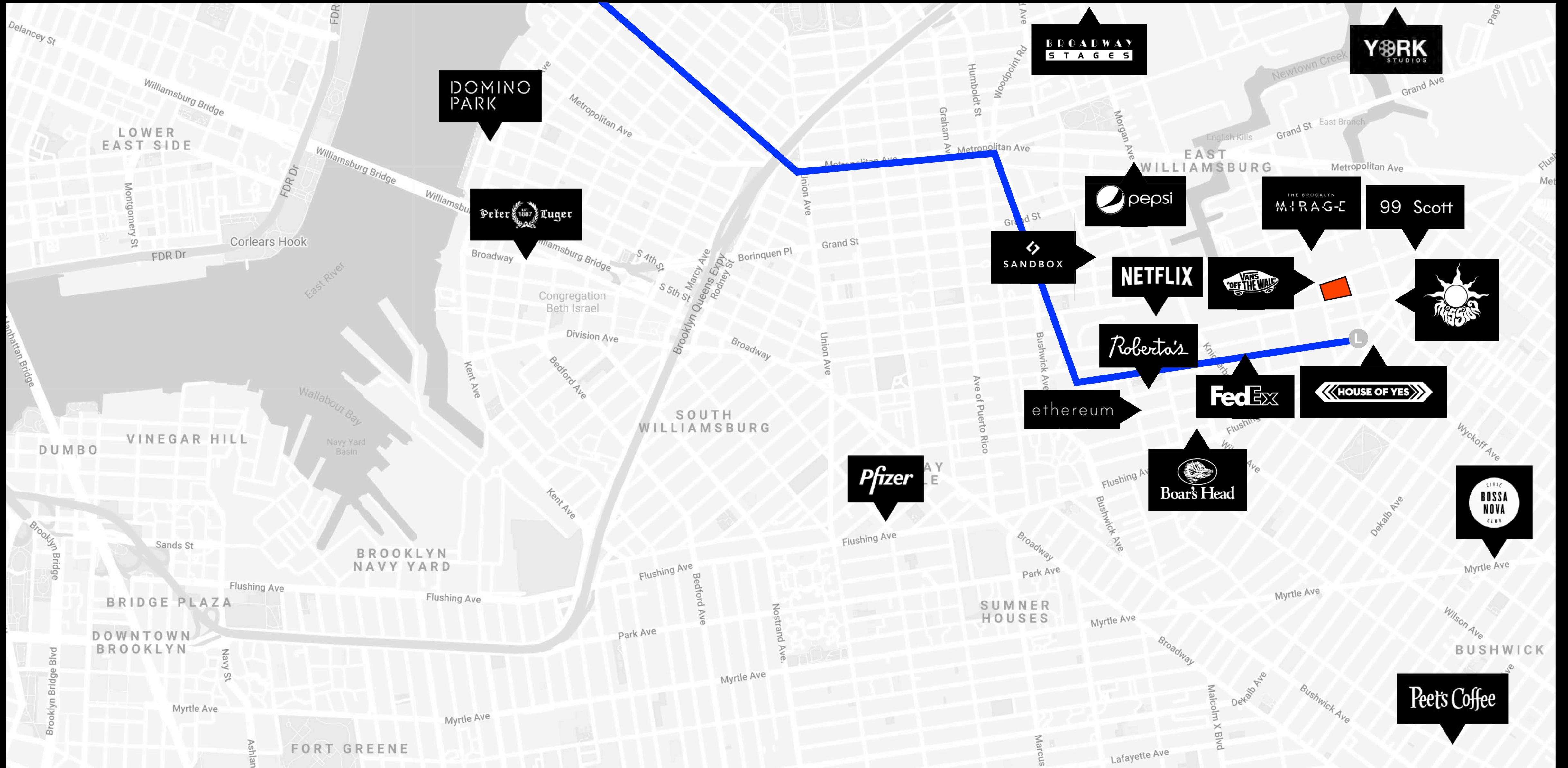
97,452

316

RESTAURANTS

MEDIAN RENT

\$2,950



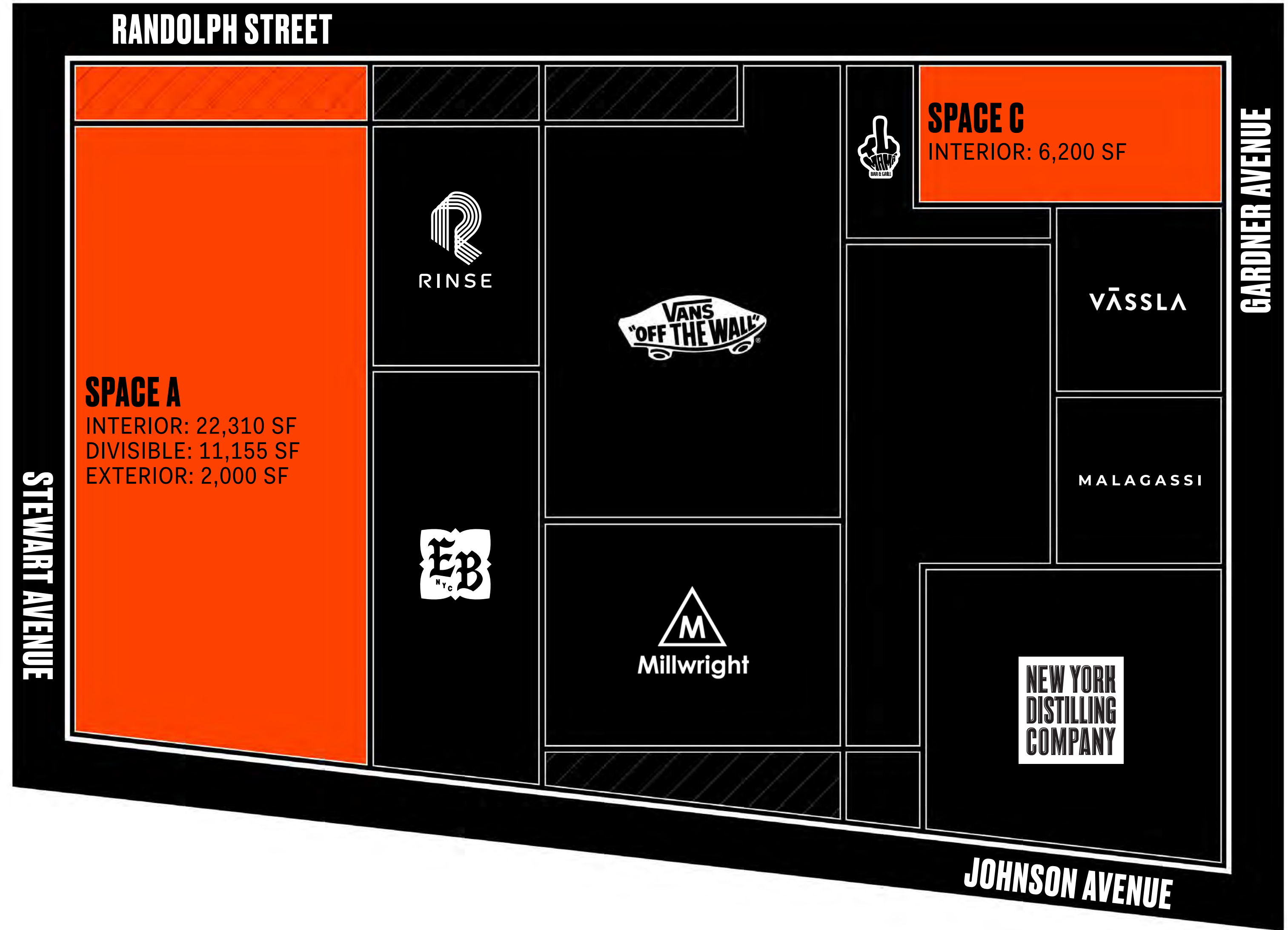
5 MINUTE WALK TO JEFFERSON  15 MINUTE TRAIN TO UNION SQUARE

15 MINUTE BIKE RIDE TO WILLIAMSBURG

MASTER PLAN

 AVAILABLE
 LEASED

SPACE A ROOFTOP
EXTERIOR: 22,310 SF





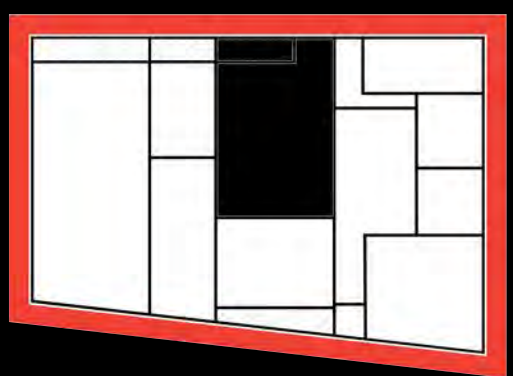
“I don’t think it’s a secret that Bushwick is kind of changing and becoming a much different neighborhood,” Sheats says, “It’s a neighborhood where an artistic and younger creative class is starting to live.”

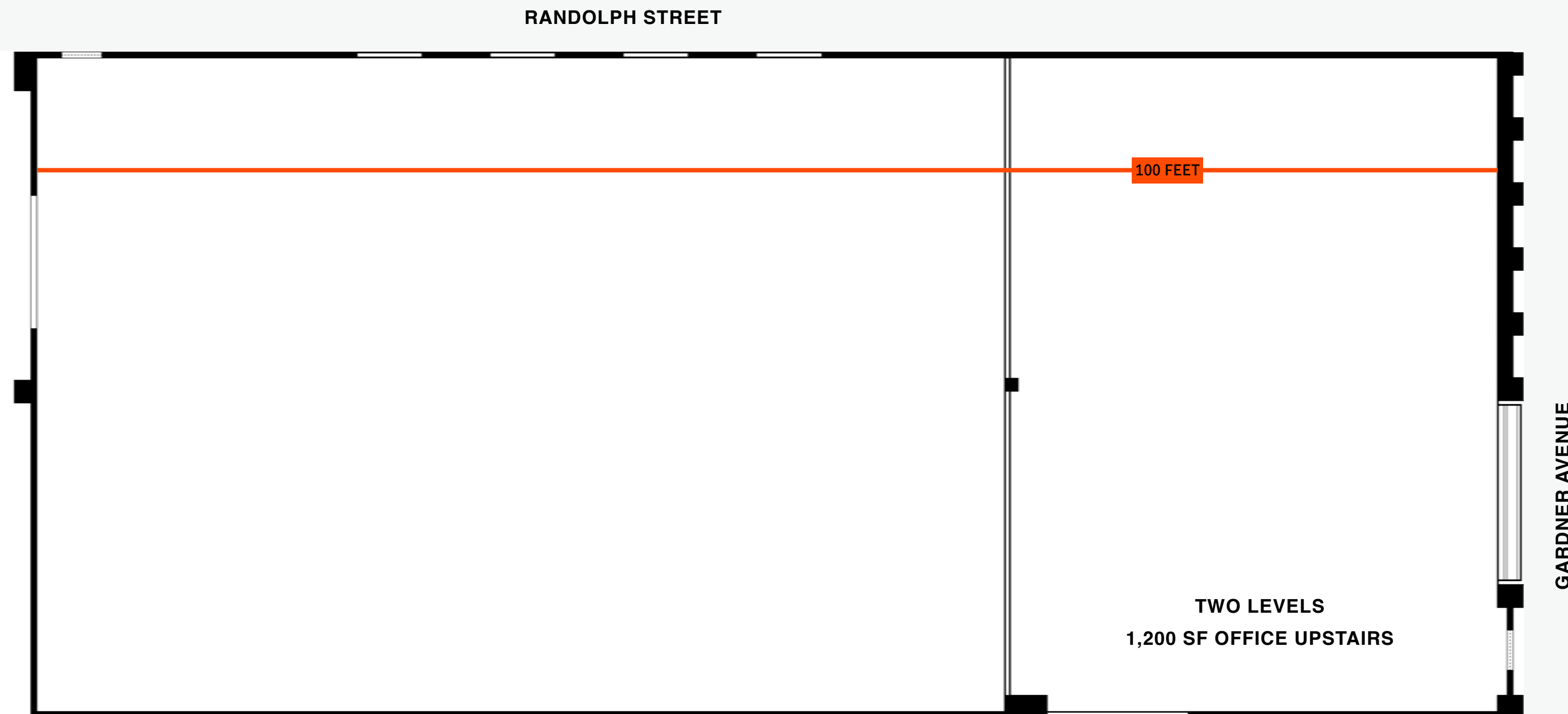
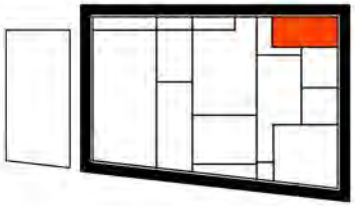


Beatrice Domond was trying to land a trick, but it was taking a few tries. Not to land the trick, of course — the 25-year-old pro skater has been called the “future of skateboarding” by *the Wall*



LARGEST INDOOR SKATEPARK IN NEW YORK CITY

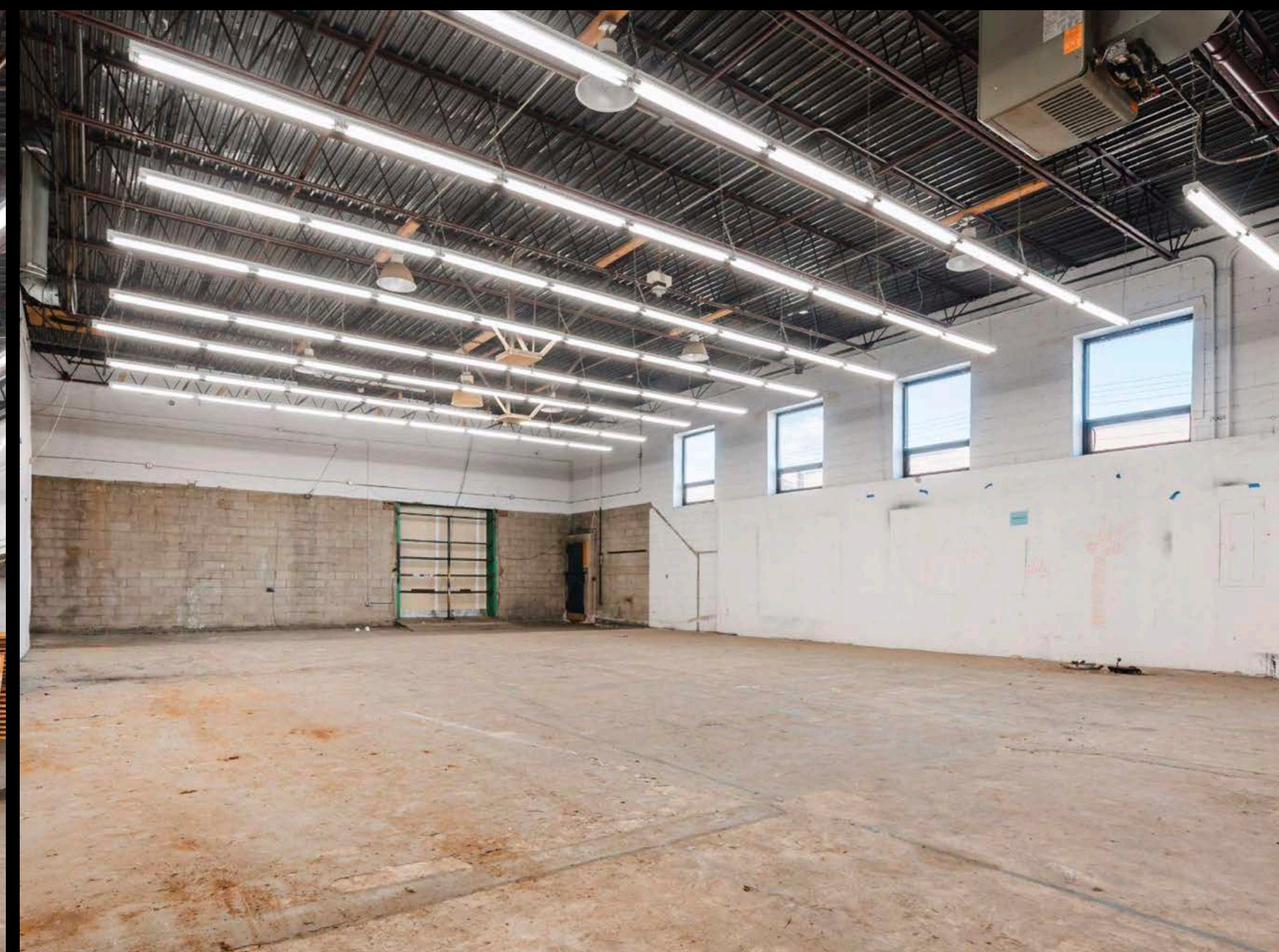
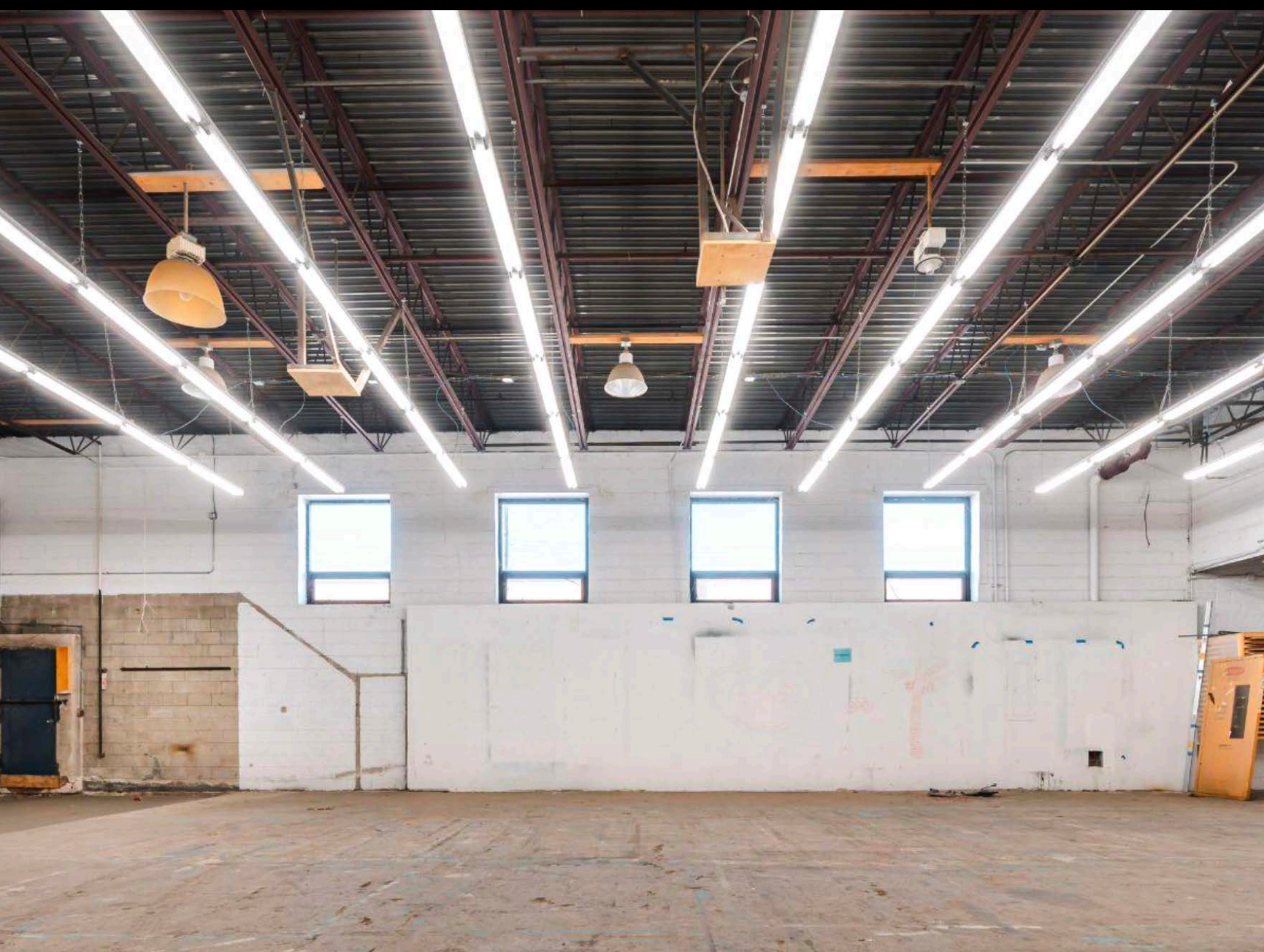
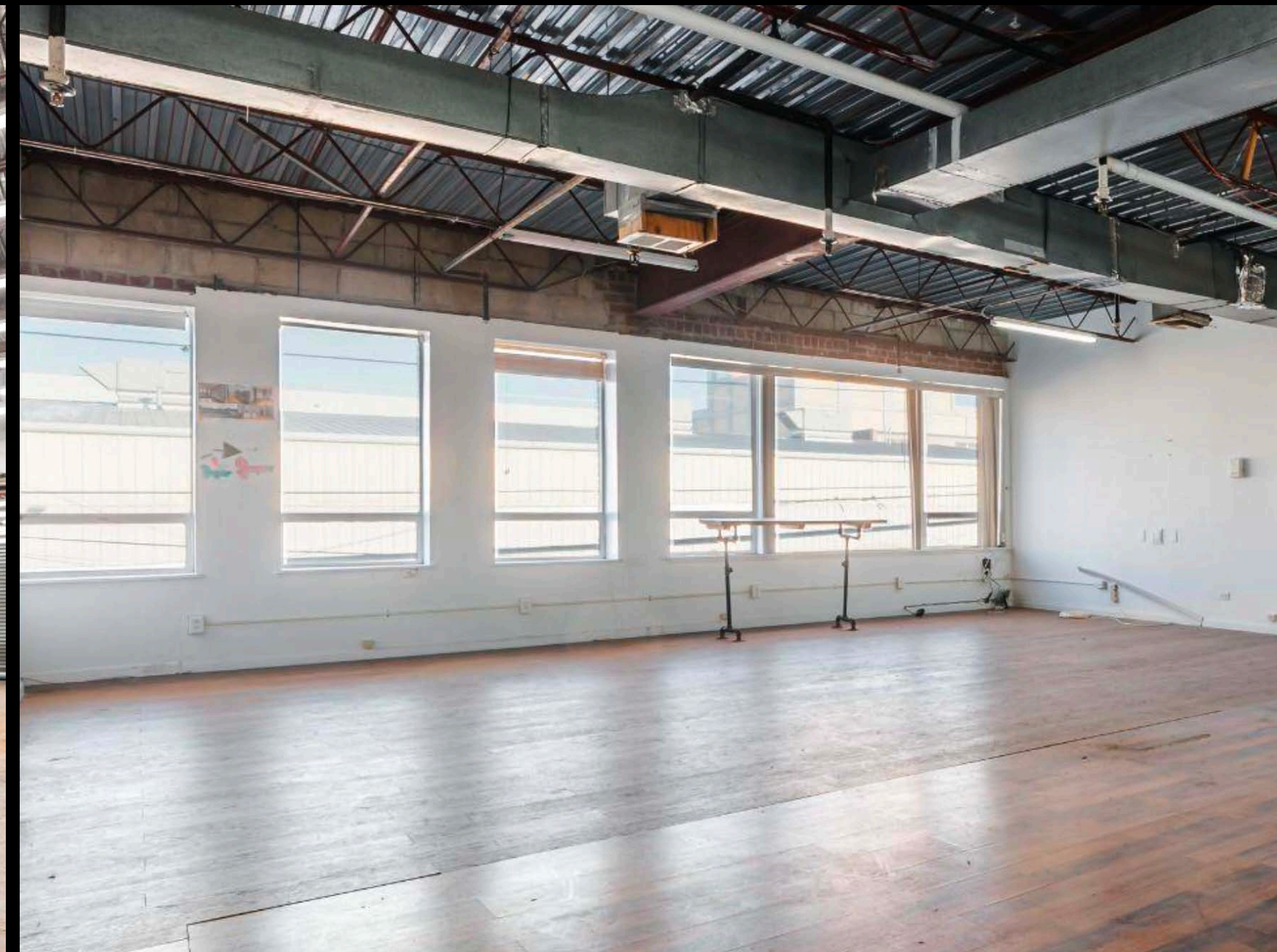
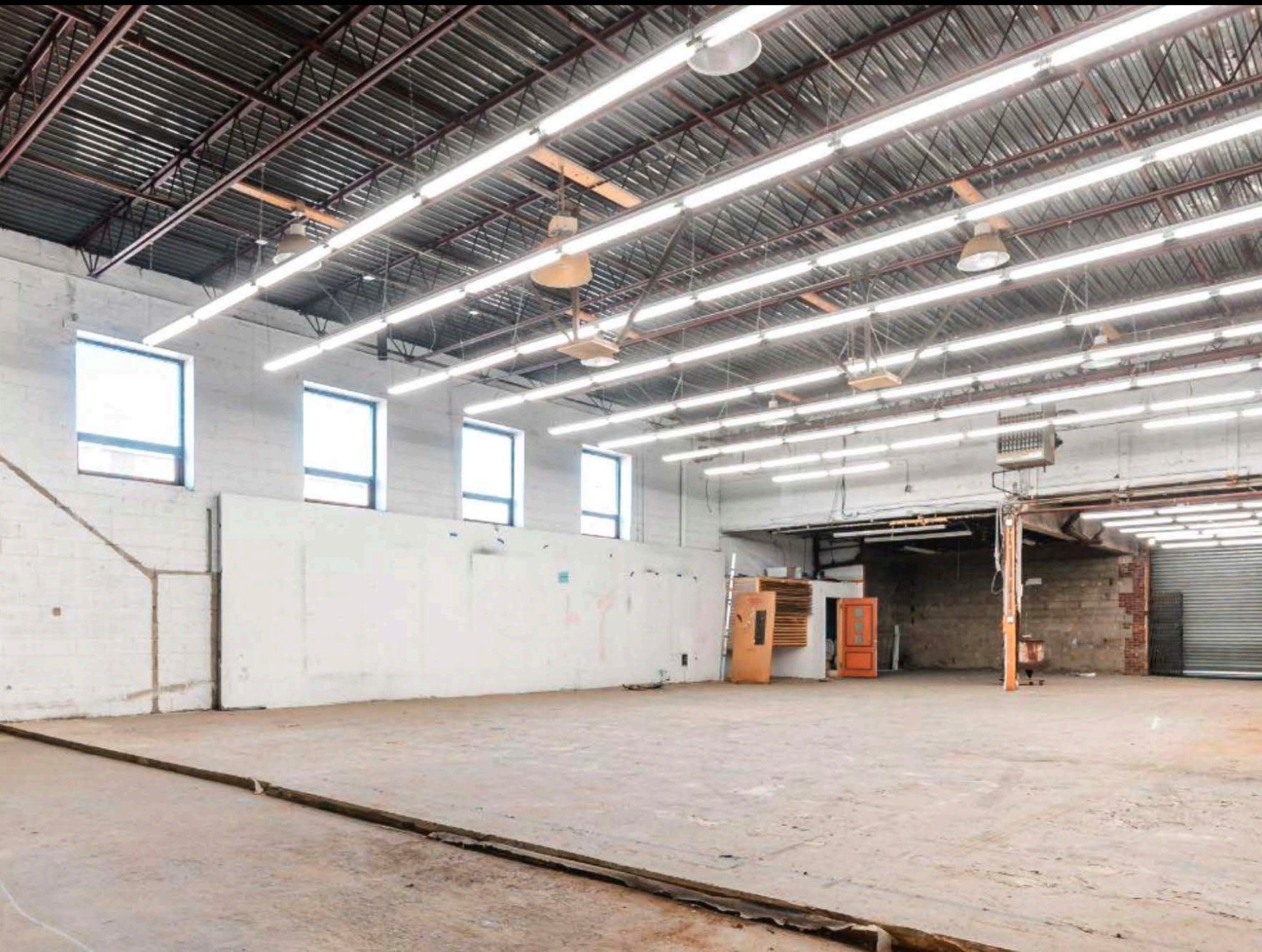
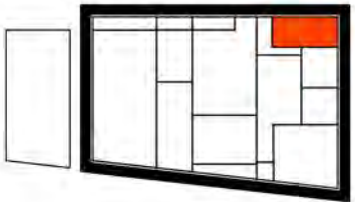




SPACE C

INTERIOR: 6,200 SF (NON-DIVISIBLE)
GROUND FLOOR: 5,000 SF
OFFICE: 1,200 SF

- 20' HIGH CEILING HEIGHTS FROM THE SLAB TO THE UNDERSIDE OF THE ROOF FOR 3,425 SQ FT OF THE WAREHOUSE
- 12' HIGH CEILING HEIGHTS FROM THE SLAB TO THE UNDERSIDE OF THE ROOF FOR 1,575 SQ FT OF THE OFFICE
- 12'10" HEIGHT OF DRIVE IN ROLL UP GATE / 12'3" WIDTH OF DRIVE IN ROLL UP GATE
- WELL MAINTAINED STEEL FRAMED STRUCTURE
- OPEN WEB JOIST ON MASONRY WALL TYPE CONSTRUCTION
- 750,000 BTU GAS POWERED FORCED HOT AIR BLOWER
- 200 AMPS OF 3 PHASE POWER
- 1 3/4 INCH WATER LINE
- 2 ' GAS LINE
- CODE COMPLIANT FULL COVERAGE WET SPRINKLER SYSTEM



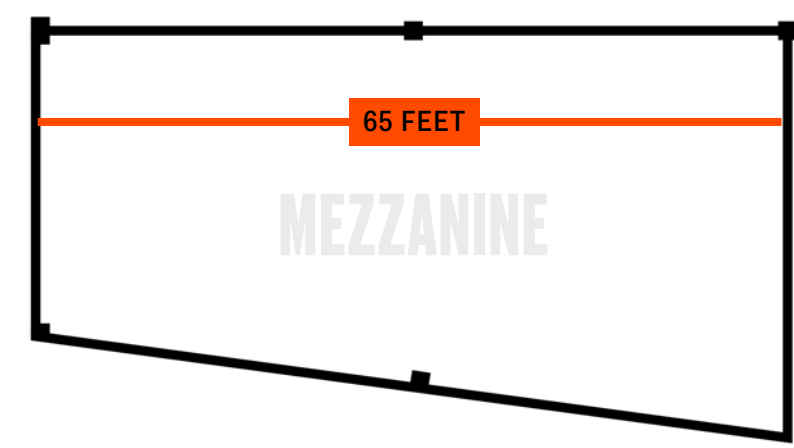
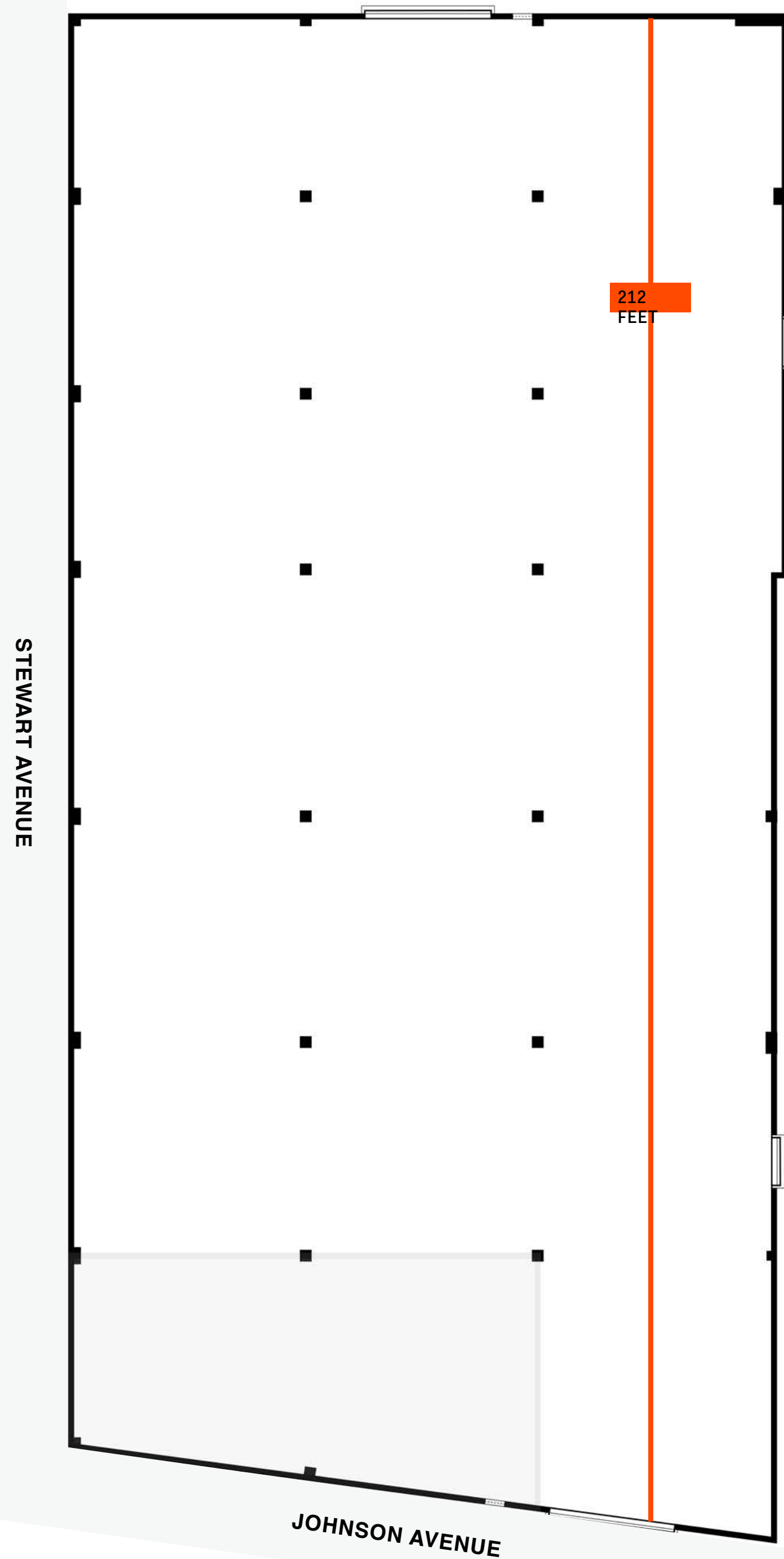
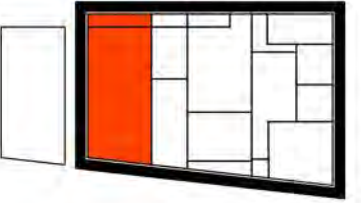
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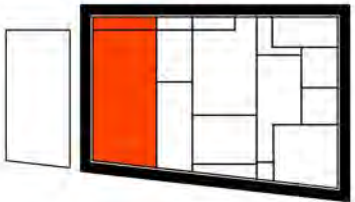
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SPACE A

INTERIOR: 22,310 SF **MEZZANINE : 1,800 SF**
DIVISIBLE: 11,155 SF
EXTERIOR: 2,000 SF

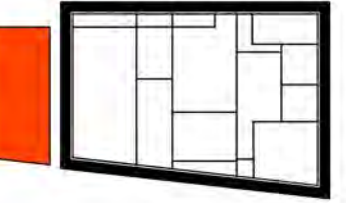
- 19' HIGH CEILING HEIGHTS FROM THE SLAB TO THE UNDERSIDE OF THE ROOF
- 5' TALL CONTIGUOUS BAND OF WINDOWS THAT WRAP THE TOP OF THE FACADE (JOHNSON AVE, STEWART AVE, AND RANDOLPH ST)
- 20' PAVED REAR SET BACK PROVIDING 2,000 SF OF OUTDOOR SPACE (PARKING, GREEN SPACE, OR ADDITIONAL STORAGE)
- FULL HEIGHT DRIVE IN ROLL UP GATE 3 INTERIOR LOADING DOCKS WITH ONE OVERHEAD GATE FEATURING 17' HIGH CLEARANCE - 28' WIDE EXTERIOR, 33' WIDE INTERIOR
- WELL MAINTAINED STEEL FRAMED STRUCTURE
- MASONRY NON-LOAD BEARING EXTERIOR WALLS
- HEAVY DUTY SLAB BETWEEN 8-10" OF CONCRETE THROUGHOUT FIRST FLOOR REINFORCED WITH WIRE MESH
- 32' ON CENTER COLUMN SPACING
- 2,000 AMPS OF 3 PHASE POWER
- 6 INFRARED HEATERS
- 4 INCH GAS LINE
- 2 INCH WATERLINE
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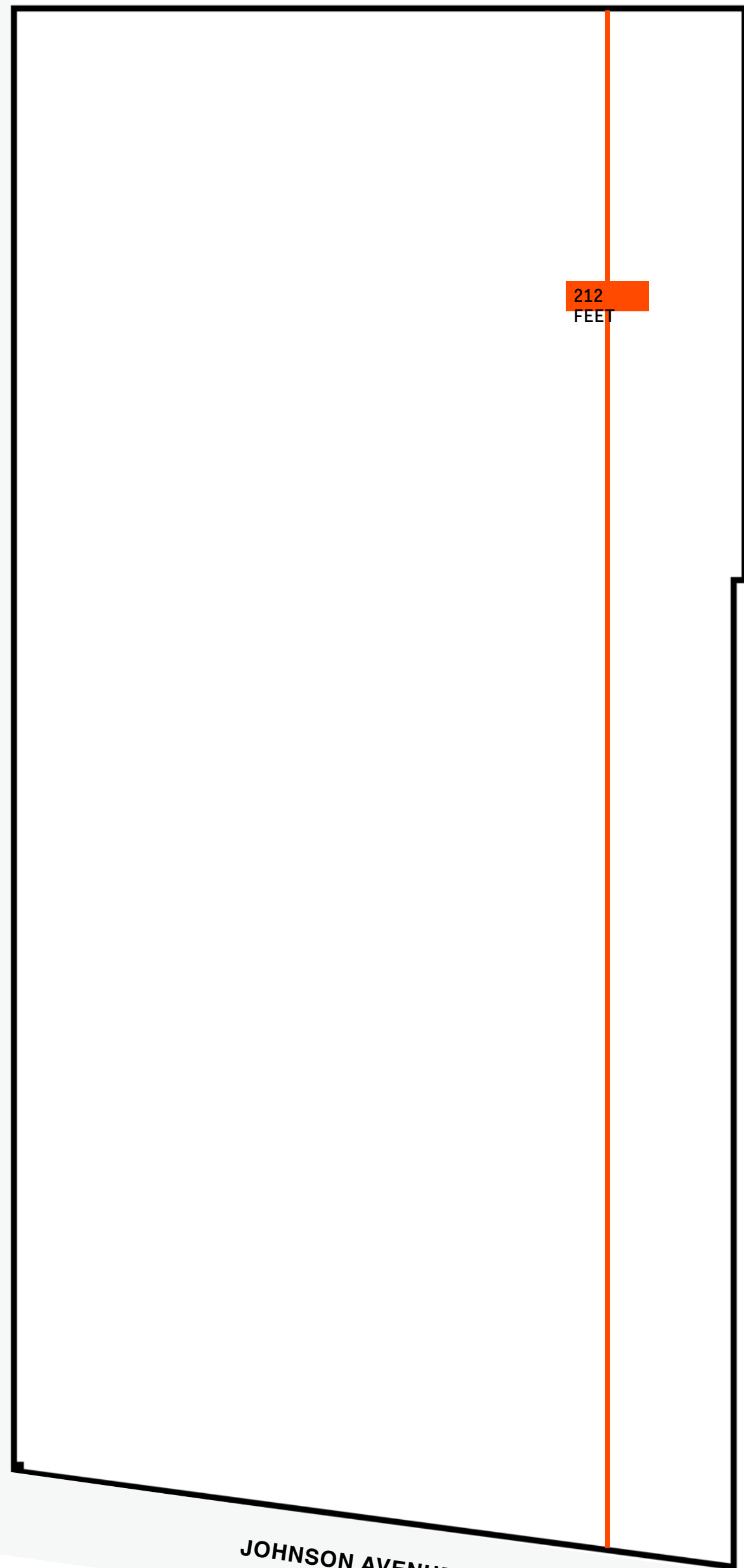
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STEWART AVENUE



JOHNSON AVENUE

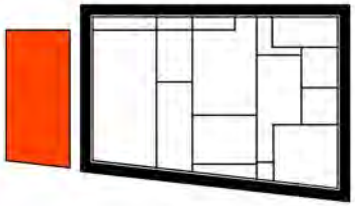
SPACE A ROOFTOP

EXTERIOR: 22,310 SF OPPORTUNITY

- CODE COMPLIANT REINFORCEMENT OF ROOFTOP FOR LEGAL OCCUPANCY
- RAMP FOR PARKING CAN BE INSTALLED
- WELL MAINTAINED STEEL FRAME STRUCTURE



FLOOR PLANS NOT TO SCALE WITH ONE ANOTHER*



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SLAB-TO-SLAB HEIGHTS

GROUND FLOOR — 18' 6"
SECOND FLOOR — 12' 6"
COLUMN SPACING — 25' ON CENTER

FRONTAGE

18' 6" — ON STEWART AVENUE
433' — ON RANDOLPH STREET
240' — ON GARDER AVENUE
450' — ON JOHNSON AVENUE

BUILDING AREA

100,000 SF

CONSTRUCTION

STEEL FRAME, MASONRY

ENCLOSURE

ORIGINAL STEEL WINDOWS, METAL DECKING ROOF

ACCESSIBILITY

STREET ACCESS ADA COMPLIANT

LIFE SAFETY

FULLY SPRINKLERED IN ACCORDANCE WITH NEW YORK BUILDING CODE

SPRINKLER SYSTEM

WET SPRINKLER SYSTEM

ELECTRICAL

4,000 AMP 208 VLT. 3 PHASE FROM THREE POE'S



THE BLOCK REPRESENTS AN HONEST INITIATIVE — SHIELDING, ENABLING, AND EMPOWERING CREATIVE DIALOGUE OF THE AVANT GARDE. BY CULTIVATING A BASE FOR THINKERS, DOERS, AND DREAMERS OF LIKE MINDS — WE'RE ABLE TO CREATE A MEDIUM LARGER THAN 4 WALLS, 4 STREETS, OR 4 SEASONS. INTERACTION, COLLABORATION, AND FRUITION OF THE PRESENT.

THE BLOCK

555 JOHNSON AVENUE



VÄSSLA



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